

COUNTY OF MONTEREY
BUILDING INSPECTION DEPARTMENT
MANDATORY ENERGY CHECKLIST

PATTERSON RESIDENCE, PETER PAN RD., CARMEL HIGHLANDS, MONTEREY CO.

Plan Check
Requirements

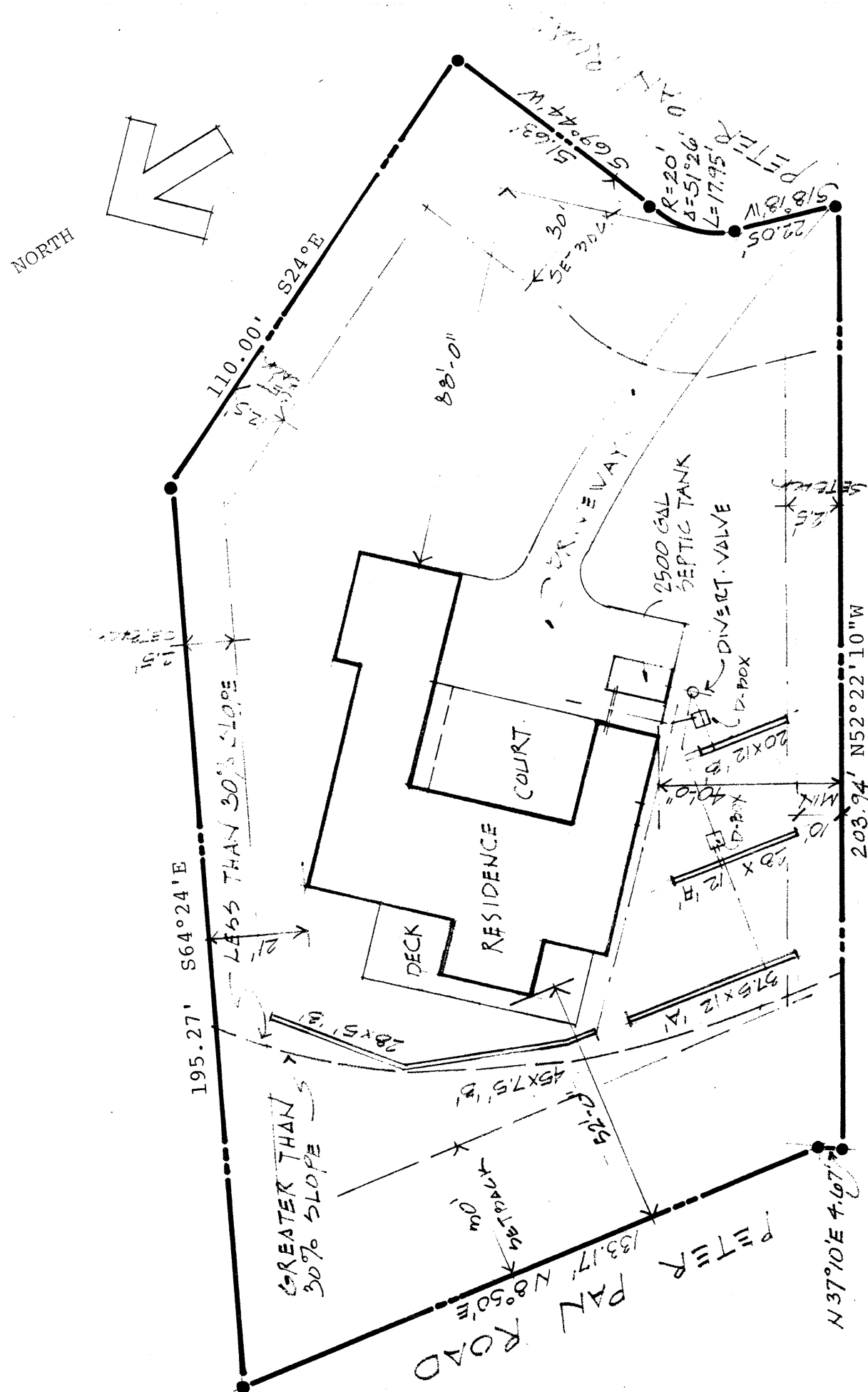
Field
Verification
Date

- A. Slab Edge Insulation N/A R-Value R=N/A Rigid.
B. Thermal Mass Type Not Required , Area N.A. s.f.
C. Fireplace Outside Air Intake (Minimum 6 sq. inches) YES
D. Sole Plate Caulking YES
E. Exterior Joints sealed Including Windows and Doors YES
F. Windows: Certified YES Labeled, Weatherstripped U-Values 0.41
G. Doors: Labeled, Certified, Weatherstripped YES
H. Insulation:
Raised Floors: Type 6"FIBER Certification YES R-Value 19.0
Walls: Type 6"FIBER Certification R-Value R=19.0
Ceiling: Type 11"TECH Certification R-Value R=38.0
I. Infiltration Control (called for inspection)
Piping & Conduit Penetration: Walls, Floors, &
Ceilings. Damper on all exhaust ducts.
J. Fireplace installed YES. No. (1) (not applicable to stoves)
Factory built N.A. Insert NO Masonry/Site constructed YES.
Flue damper YES Operable YES Tight Fitting YES
Air Intake Damper YES Operable YES Tight Fitting YES
Metal or Glass Door YES Operable YES Tight Fitting YES
K. Space Conditioning: Heat Pump Model No. N.A. ACOP N.A.
Heater Sizes 100,000 BTU 94.1% EER LennoxGI405-100P
Appliance with IID YES
Sizing Calculations attached NO Exempt 94.1% See 2-5352(g). (C)
Setback thermostats required YES. Brand Honeywell Operable YES.
Ducting of vents sized per approved plans YES.
Duct insulation R-Value (minimum R3) R=3.0 or greater see spec.
L. Water Heater per approved plan YES STATE PRV-50-PRT-2H (Propane)
Blanket Insulated YES (Minimum R=12 or R=16 combination
may be used for labeled heater.
Pipe Insulated - Hot & Cold (first 5' in uncond. space) YES
Recirculating Pipe Insulation YES. (minimum R-3)
M. Steam Piping/Solar Systems Insulation - R-Value N.A.
N. Plumbing fixtures:
Showerheads Certified, Make & Model No. As per code
Faucets Certified Make & Model No. As per code
O. General Lighting in Kitchen YES & Bathroom YES must
exceed 25 lumens/watt. Luminaries which are the only
light in a bathroom or for a specific task are exempt.
P. Swimming Pools: Heater On-Off Switch N.A.
Heater, weatherproof plate N.A. or Card N.A.
Heater 75% efficiency indent. N.A. min. 36" long pipe bet. filter
and heater N.A. Pool cover present if pool is heater by utility
N.A. Time clock for circulation pump N.A. Pool directional inlets

ALL ENERGY INSPECTIONS will be charged \$15.00 per trip unless inspection is made in conjunction with other call for inspections.

THE PLAN CHECKER WILL CHECK REQUIREMENTS.
THE INSPECTOR WILL VERIFY BY FILED INSPECTION.
THE OWNER WILL COMPLETE CENTER SECTION BEFORE INSPECTION.

APPROVED
PLAN CORRECTIONS
This document is part of
the plans when signed by
Applicant
Permit #
County of Monterey
Building Inspection Dept.



SITE PLAN scale: 1"=30'-0" A.P. No. 241-201-17

MR. & MRS. MACKENZIE C. PATTERSON SR., OWNER
PETER PAN ROAD
CARMEL HIGHLANDS

STRUCTURAL NOTES

BACKFILL: Under floor slabs and footings shall be clean, compacted sand.

CONCRETE: Shall be proportioned to give a minimum 28 day compressive strength of 2000 psi for continuous wall footings and slab on grade, and 3000 psi for foundation walls unless indicated otherwise. The slump shall be the minimum consistent with placing conditions but shall not exceed 4-1/2".

MASONRY: Shall be hollow concrete units, grade N, conforming to U.B.C. Standard #24-4. Grout shall be proportioned to give a minimum of 28 day compressive strength of 2000 psi. All cells shall be grouted solid. Reinforcing steel shall be accurately placed and positively in bond beam units. Units shall be placed in Type M or S (1500psi) mortar in running bond. Reinforcing steel shall be as noted on the plans except that all openings and end cells shall be reinforced with 2-#4 bars for 8" block along each boundary and extending 24" beyond all corners or through dowels to foundation. Construction shall conform to Section 2415 of the U.B.C.

REINFORCING STEEL: Shall conform to ASTM A615 Grade 40 for #3 bars and smaller, and Grade 60 for #4 bars and larger. Bars shall be wired together and lapped at splices a minimum of 30 bar diameters in concrete and 40 bar diameters in masonry. Where concrete is poured against earth, provide 3" minimum concrete around reinforcing steel. Concrete cover for other conditions to follow:
Formed Concrete Slab 1" min. Below Grade-Formed 2" min.
Concrete Slab on Grade 1-1/2" min. Other See plans

WELDED WIRE FABRIC: Shall be per ASTM A185 of the gauge and mesh size indicated on the plans, and shall be lapped a minimum of one mesh at all splices. Fabric shall be raised that depth at the free edge of the pour.

LUMBER SCHEDULE: Shall be as follows:
Rafters & Floors Joists DF #2 or better except as noted.
Beams & Headers; 5x5 & Larger Posts DF #1 or better as noted.
2x4 Studs & Blocking; 4x4 Posts DF Standard or better.
2x6 & Larger Studs, Blocking, Wall Plates DF #2 or better.
Wood Sills Pressure Treated DF #2 or better.

PLYWOOD: Shall be 3/4" T&G Doug. Fir Plug & Touch Sanded @ subfloor. 1/2" CDX Exterior shear plywood @ sidewalls. 5/8" CCX plywood @ Roof sheathing.

STUD WALLS: Horizontal bridging shall be installed in all walls and partitions where studs are more than 8'-0" in height. Stud walls supporting beams shall have posts under bearings unless otherwise noted. Non-shear and non-bearing partitions are not shown.

WOOD SILLS: Shall be attached to concrete slab or foundation with 5/8" x 10" anchor bolts at 4'-0" maximum spacing except as noted otherwise. There shall be a minimum of two fasteners per piece of sill.

DOUBLE PLATES: Shall lap a minimum of 4'-0" at splices and be nailed with no less than 12-16d nails each piece except as otherwise noted. All cuts in plates to occur over a stud.

HOLES: In wood sills or plates of shear or bearing walls shall be placed in the center of piece and shall be no greater in diameter than 1/3 the width of member. Holes larger than noted above may be bored in sills providing the sill is considered cut in two and anchor bolts placed accordingly.

BOLTS: Shall conform to ASTM 307 and U.B.C. Standard 25-17 unless noted otherwise. Bolt holes in wood shall be drilled 1/16" oversize. Washers shall be used in all bearing of heads and nuts against wood. Washers shall be standard cut washers except as noted. Bolts, nuts and washers shall be hot dip galvanized where exposed to the weather. All nuts shall be tightened when placed and retightened at completion of job or immediately before finishing construction work which will make them inaccessible.

LINTELS: Over openings in non-bearing walls shall be solid members the width of studs and of a minimum nominal depth at least equal to span in length in feet. Lintels in bearing walls to be 4x6 except as noted on plans.

CUTTING: Of beams and joists for pipes shall not be permitted without the approval of the Architect.

FRAMING ANCHORS: And other standard framing accessories shall be "Simpson" or approved equal, of the designation noted on plans. All nails shall be of size and length specified and supplied by the manufacturer unless noted otherwise. Use following schedule unless noted otherwise:

Joist Hangers	LU Series	Post to Sill Plate	BC Series
Beam to Plate	BC Series	Post to Concrete	PB Series
Post to Beam	AC Series		

CONCRETE ANCHORS: Where specified or required to be Phillips "Red Head" or approved equal.

CONVENTIONAL CONSTRUCTION: Requirements of the U.B.C. shall apply where applicable and when not specifically noted otherwise on the drawings. All nails shall be common wire nails of number and spacing specified in the latest edition of the U.B.C. Table No.25P unless specifically noted otherwise.

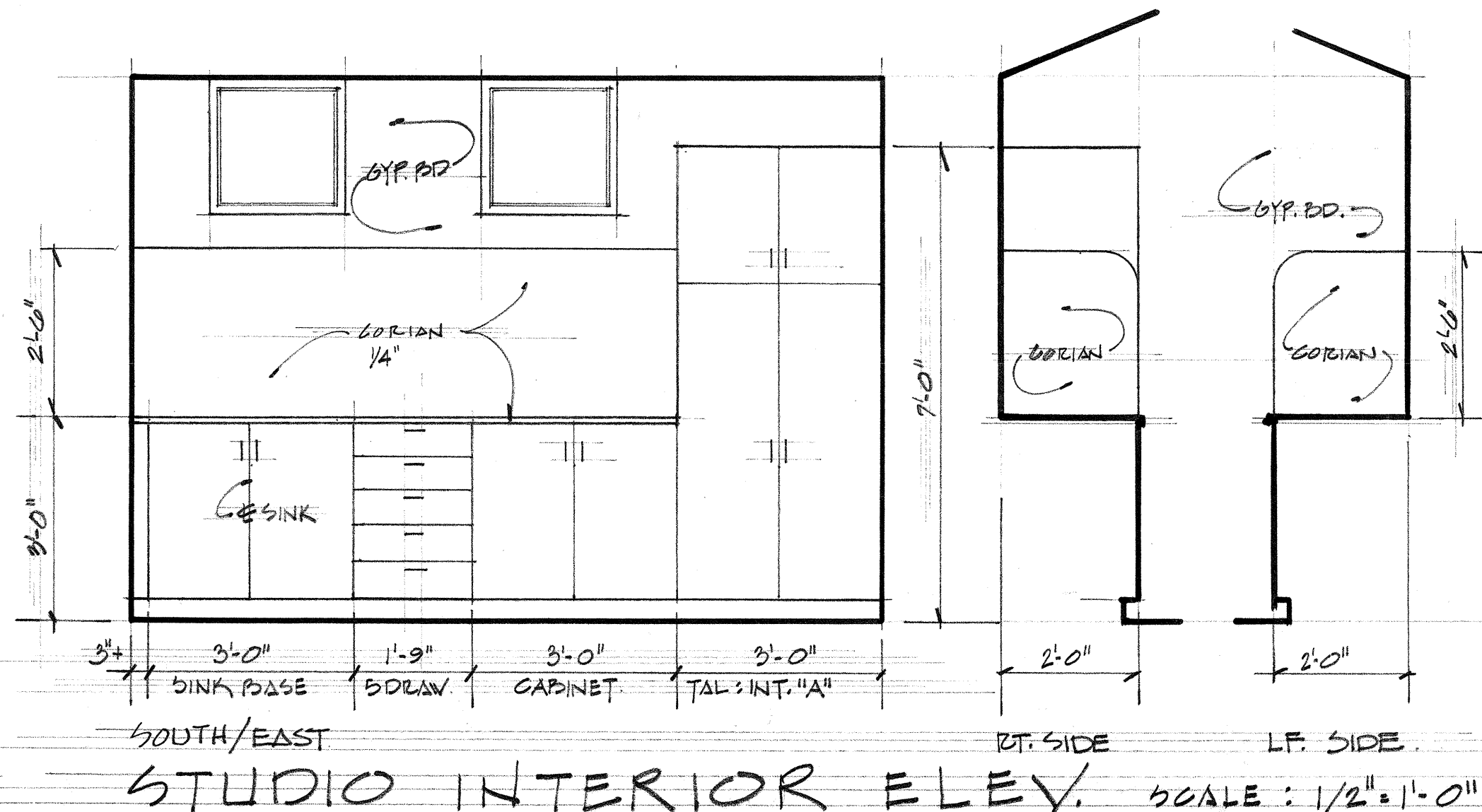
HEADERS: Shall be full, nominal width of the walls in which they occur by depth as indicated below:

Less than 4'-0"	4"
4'-0" to Less than 6'-0"	6"
6'-0" to Less than 8'-0"	8"
8'-0" to Less than 10'-0"	10"

Greater than 10'-0" 5/8"x12" GLULAM or as noted on plans

Where headers occur in 2x6 stud walls the headers shall be 6" nominal width. Wherever headers are required to be of a depth that will interfere with the double top plate, then the top plate shall be broken and a pair (one on each side) of Simpson ST6224 strap ties shall be used at each end to connect the header with the double plate.

PREFABRICATED ROOF & FLOOR TRUSSES: Shall be Engineered and fabricated by "Tri County Truss Inc.", Blackie Road, Castroville, CA. 373-8446. Roof Trusses shall be engineered to support 14 lbs/sf Tile Roofing Dead Load. Interior Floor Live Loads shall be 50 lbs/sf. All trusses shall be engineered for a maximum deflection of L/360.



GENERAL ARCHITECTURAL NOTES:

- No wood shall be placed less than 6 inches from earth.
- The minimum thickness of concrete slabs shall be 3-1/2 inches unless shown to be greater.
- Change in floor level at doors shall not exceed one inch maximum.
- Plywood sheathing on roof overhangs shall be CCX or better.
- Where any attic spaces are created, an attic access panel a minimum of 22"x30" with 30" headroom above shall be provided. Attics with less than 30" vertical headroom need not be accessed.
- Where any attic space is created, it shall be vented with eave vents equal to 1/150 of the area to be ventilated.
- The Clothes Dryer shall be vented to the outdoors.
- The residence shall be equipped with fire products of combustion detectors as shown on the Electrical Plans. The products of combustion detectors shall be wired into the main house wiring electrical system.
- INSULATION REQUIREMENTS: Title 24, See Calcs by: M.C.Patterson
Total Floor Area 3461 sf not including unheated garage
Window Area 915 sf
Regular Glazing 152 sf
Thermopane Glazing 763 sf
Insulation of:
Ceilings 11" Fiberglass R=38.0
Walls 6" Fiberglass R=19.0
Floors 6" Fiberglass R=19.0 except slab floors
Slab Perim. 1" Rigid. Type R= 7.0 none planned
- Water Heaters to be 50 Gallon "STATE" Model No. PRV-50-PRT-2H with built in R=16 insulation. (Note: reheat capacity = 30 gal, 100 deg. rise per hour) 35,000BTU (total usable hot water in first hour = 78 gallons)
- All Glazing used in tub and shower enclosures shall be tempered glass or other approved safety glazing.
- Tub and Shower area walls to be finished with a smooth non-absorbent surface such as ceramic tile, to a height of 6'-0" minimum or higher as shown on interior elevations.
- Provide spark arrestor at chimney.
- All glazing in doors to be tempered glass, and glazing within 12" of doors.
- Provide wall bracing in all exterior walls with 1/2" CD exterior plywood nailed with 8d @ 6" o.c. edges & 8" o.c. in field.
- Chimney shall extend 2'-0" minimum above the highest point of the roof within ten feet of that chimney.
- Provide a minimum 24"x12" access panel to each tub slip joint connection. Access panels shall be 1/2" AC plywood with trim similar to doors & paint to match walls. Locate within 16" of floor above base board trim.
A) M.Bath tub access panel shall be into the wall in the adjacent Closet.
B) First Floor Tub access panels shall be into the crawl space below.
- All water lines shall be insulated with 1" pipe wrap.
- Provide 5/8" Gypsum Board Type "X" (One Hour fire separation) on all walls and ceiling of the Garage, except Concrete Block walls.
- Any gas burning appliance located in the Garage shall be on an 18" platform. Water Heater
- Provide 3'-0" x 6'-8" access door into underfloor space below the first floor.
- Provide 6"x14" screen vents @ 7'-0" o.c. minimum around perimeter of crawl space.
- Underfloor clearance shall be 18" minimum below any joists or girders.
- Fireplace Clearances shall conform to the Uniform Building Code as follows:
Note that the drawings may require greater clearances.
a) Depth of Hearth= 20" Minimum.
Hearth @ Sides 12", Surround top & Sides 12" Minimum.
- No gas log lighters will be provided.
- Hot Water Heaters shall be provided with pressure relief valve and drainage to outside. End pipe 6" from ground pointing downward.
- The Gas Furnace obtains its combustion air via a 2" dia. pipe from the outdoors. It does not obtain any combustion air from the space it is located in. The Gas Water Heater which is located in the Garage will obtain its combustion air from the room. (8.0'x42.5sf=3400 cu.ft.) Water heater is 35,000 btu. (35,000/20=1750<3400). Water Heater in Crawl Space is in a vented underfloor space.
- Provide electrical ground to main electrical panel with #4 copper wire located within 2" of bottom of concrete foundation with enough wire to reach service panel.
- All Bathroom, Garage, Shop, and Outdoor receptacles shall have GFI protection.
- Kitchen and Laundry appliance receptacles shall be 20amp each. Also provide separate circuit for microwave.
- Provide air gap for dishwasher.
- Piping Specifications:
a) Interior & Exterior supply water piping to be type M Copper.
b) All waste lines to be ABS plastic pipe.
c) All gas pipe to be black iron pipe with special wrapped pipe used at underground locations. Also wrap all underground joints.
- Provide 15# asphalt felt under all exterior siding, over the shear plywood.
- Typical Stairway Dim.; Garage Elev.= 210.00'
First Floor Elev. = 208.50'
Second Floor Elev. = 217.94'
Stairway up to Entry:
a) Risers 18R @ 6.29 each (6-9/32")
b) Treads 11" wide typical.
c) Width= 40" min. See Plan.
d) Head Clearance 6'6" minimum.
- Guardrails shall be 36" minimum typical height with no openings greater than 4-1/2" between pickets. All Stairways shall have handrails on both sides at 2'-8" above the stair nosing.
- Toilets shall have a maximum of 1-1/2 gallons per flush. Shower head flow shall not exceed 2-1/2 gallons per minute at 40 psi. Water pressure in building shall be limited to 50 psi, or less.

MR & MRS MACKENZIE PATTERSON SR RESIDENCE

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